

DEVELOPMENT APPLICATION

PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

2 LAKEMBA STREET, BELMORE 2192 - LOT D / DP 416117

FOR MR EMANUEL KARAGEORGIOU

DRAWING SCHEDULE

COVER SHEET, SPECIFICATION & SITE PLANS				
A001	COVER SHEET, DRAWING SCHEDULE & LOCATION PLAN	C	29/04/25	
A002	SITE ANALYSIS PLAN & COMPLIANCE TABLE	C	29/04/25	
A003	SITE PLAN	C	29/04/25	
A004	LANDSCAPE PLAN	C	29/04/25	
ESCP	EROSION/SEDIMENT CONTROL PLAN	C	29/04/25	
SWP	CONCEPT STORMWATER PLAN	C	29/04/25	
PLANS				
A101	FLOOR PLAN (EXISTING & DEMOLITION)	C	29/04/25	
A102	FLOOR PLAN (PROPOSED)	C	29/04/25	
ELEVATIONS				
A201	DWELLING ELEVATIONS	C	29/04/25	
A202	OUTBUILDING ELEVATIONS	C	29/04/25	
SECTIONS				
A301	SECTIONS	C	29/04/25	
SCHEDULES				
A401	SCHEDULE OF COLOUR & FINISHES	C	29/04/25	
A402	BASIX COMMITMENTS	C	29/04/25	
NEIGHBOUR NOTIFICATIONS				
NN01	NEIGHBOUR NOTIFICATIONS	C	29/04/25	



3D PERSPECTIVE

(EXISTING ELEMENTS SHOWN WHITE)



LOCATION PLAN

2 LAKEMBA STREET, BELMORE 2192



SITE INFORMATION

SITE ADDRESS 2 LAKEMBA STREET, BELMORE 2192  
LOT# DP # LOT D / DP 416117  
PARCEL SIZE 383.9m<sup>2</sup>(BY CALCULATION)  
LAND ZONING R3 - MEDIUM DENSITY RESIDENTIAL

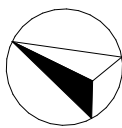
LEGEND

- EXISTING DWELLING
- PROPOSED ADDITIONS
- PROPOSED PATIO
- TO BE DEMOLISHED
- NEIGHBOURING DWELLING
- PRIVATE OPEN SPACE
- DEEP SOIL LANDSCAPING (OVER 2.5m WIDE)
- LANDSCAPING (UNDER 2.5m WIDE)

SITE ANALYSIS PLAN

SCALE: 1:200

C	DA SUBMISSION RE-ISSUE	29/04/25
B	DA SUBMISSION ISSUE	07/02/25
A	CLIENT REVIEW ISSUE	19/11/24
REV	ISSUANCE	DATE



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DRAWING NAME

SITE ANALYSIS PLAN & COMPLIANCE TABLE

PROJECT DESCRIPTION

PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

CLIENT & SITE ADDRESS

MR EMANUEL KARAGEORGIOU  
2 LAKEMBA STREET, BELMORE 2192 -  
LOT D / DP 416117

COUNCIL

CITY OF CANTERBURY BANKSTOWN

SCALE A3

1:200

DRAWN PA

DATE 29/04/25

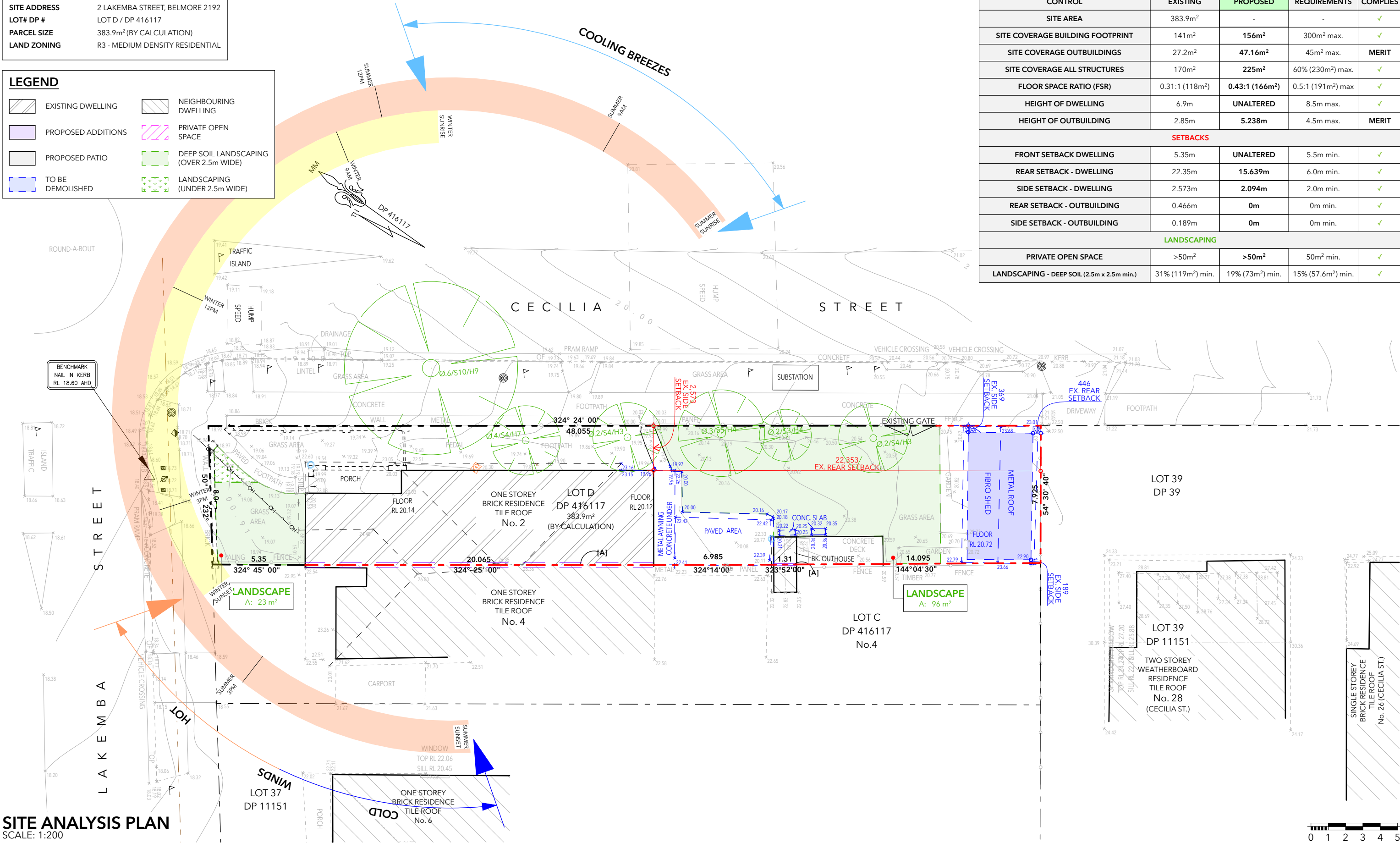
JOB No. 1329

REV No. C

DWG No. A002

COMPLIANCE TABLE CBDP 2023 & CBLEP 2023

CONTROL	EXISTING	PROPOSED	REQUIREMENTS	COMPLIES
SITE AREA	383.9m <sup>2</sup>	-	-	✓
SITE COVERAGE BUILDING FOOTPRINT	141m <sup>2</sup>	156m <sup>2</sup>	300m <sup>2</sup> max.	✓
SITE COVERAGE OUTBUILDINGS	27.2m <sup>2</sup>	47.16m <sup>2</sup>	45m <sup>2</sup> max.	MERIT
SITE COVERAGE ALL STRUCTURES	170m <sup>2</sup>	225m <sup>2</sup>	60% (230m <sup>2</sup> ) max.	✓
FLOOR SPACE RATIO (FSR)	0.31:1 (118m <sup>2</sup> )	0.43:1 (166m <sup>2</sup> )	0.5:1 (191m <sup>2</sup> ) max	✓
HEIGHT OF DWELLING	6.9m	UNALTERED	8.5m max.	✓
HEIGHT OF OUTBUILDING	2.85m	5.238m	4.5m max.	MERIT
SETBACKS				
FRONT SETBACK DWELLING	5.35m	UNALTERED	5.5m min.	✓
REAR SETBACK - DWELLING	22.35m	15.639m	6.0m min.	✓
SIDE SETBACK - DWELLING	2.573m	2.094m	2.0m min.	✓
REAR SETBACK - OUTBUILDING	0.466m	0m	0m min.	✓
SIDE SETBACK - OUTBUILDING	0.189m	0m	0m min.	✓
LANDSCAPING				
PRIVATE OPEN SPACE	>50m <sup>2</sup>	>50m <sup>2</sup>	50m <sup>2</sup> min.	✓
LANDSCAPING - DEEP SOIL (2.5m x 2.5m min.)	31% (119m <sup>2</sup> ) min.	19% (73m <sup>2</sup> ) min.	15% (57.6m <sup>2</sup> ) min.	✓





SITE INFORMATION

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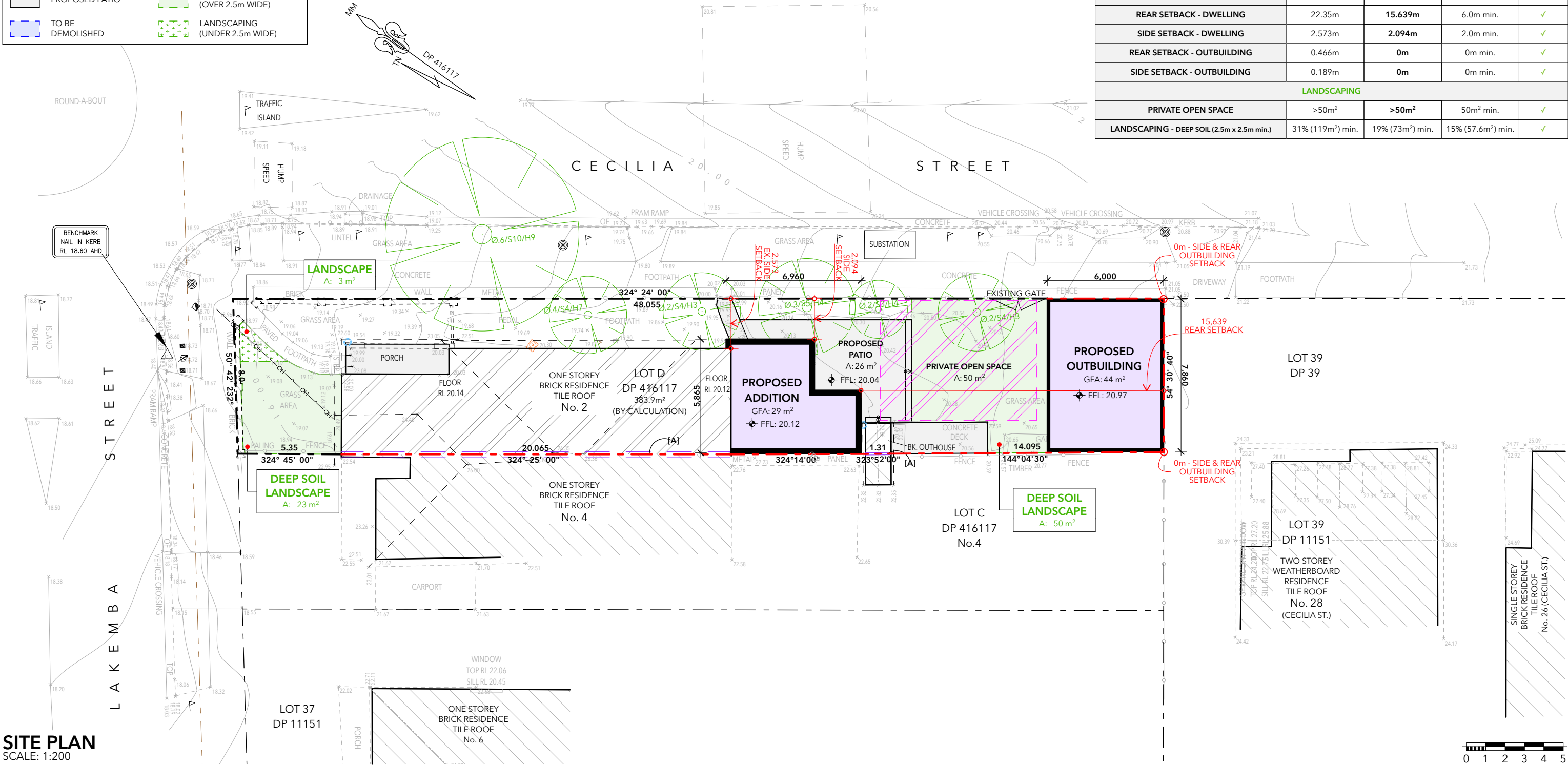
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- PRIVATE OPEN SPACE
- PROPOSED PATIO
- DEEP SOIL LANDSCAPING (OVER 2.5m WIDE)
- TO BE DEMOLISHED
- LANDSCAPING (UNDER 2.5m WIDE)

SITE PLAN

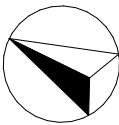
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DRAWING NAME  
SITE PLAN

PROJECT DESCRIPTION  
PROPOSED ALTERATIONS &  
ADDITIONS & GARAGE RENOVATION

CLIENT & SITE ADDRESS  
MR EMANUEL KARAGEORGIOU  
2 LAKEMBA STREET, BELMORE 2192 -  
LOT D / DP 416117

COUNCIL  
CITY OF CANTERBURY BANKSTOWN

SCALE A3 1:200  
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JOB No. 1329  
REV No. C  
DWG No. A003



SPECIFICATIONS

1. PLANTING MATERIALS

**PLANTING MIX:**  
Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of  
- 50% Black Soil  
- 20% Coarse Sand  
- 30% Organic Material  
Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

**PLANTER MIX:**  
Planter mix shall be Peat and Planter Mix.

**PLANTER DRAINAGE CELL:**  
Planter drainage cell shall be VersiCell where applicable

**MULCH:**  
Mulch to garden bed:  
Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site.  
Mulch to planter beds:  
Mulch to planter beds shall be Pine bark mini nuggets mulch (25mm grade), free from fines.  
Spread mulch so that after settling, it is:  
- smooth and evenly graded between design surface levels;  
- flush with adjacent finished levels;  
- of the required depths (75mm); and  
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).  
Place after the preparation of the planting bed, planting and all other work.

**PLANT MATERIAL:**  
All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

**TURFED AREAS:**  
All new turf ed areas are to be selected weed free. Turf shall be laid neatly butted with staggered joins, flush with adjacent surfaces and have even running falls to all drainage points.  
All new turf ed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

2. PREPARATION AND HARDWORKS

**EXCAVATING FOR SPOT PLANTING:**  
To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

**STAKING:**  
Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.  
- 45 Litre trees in 2 x 38 x 38x 1 800mm Hardwood Stake with double Nylon tie  
TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

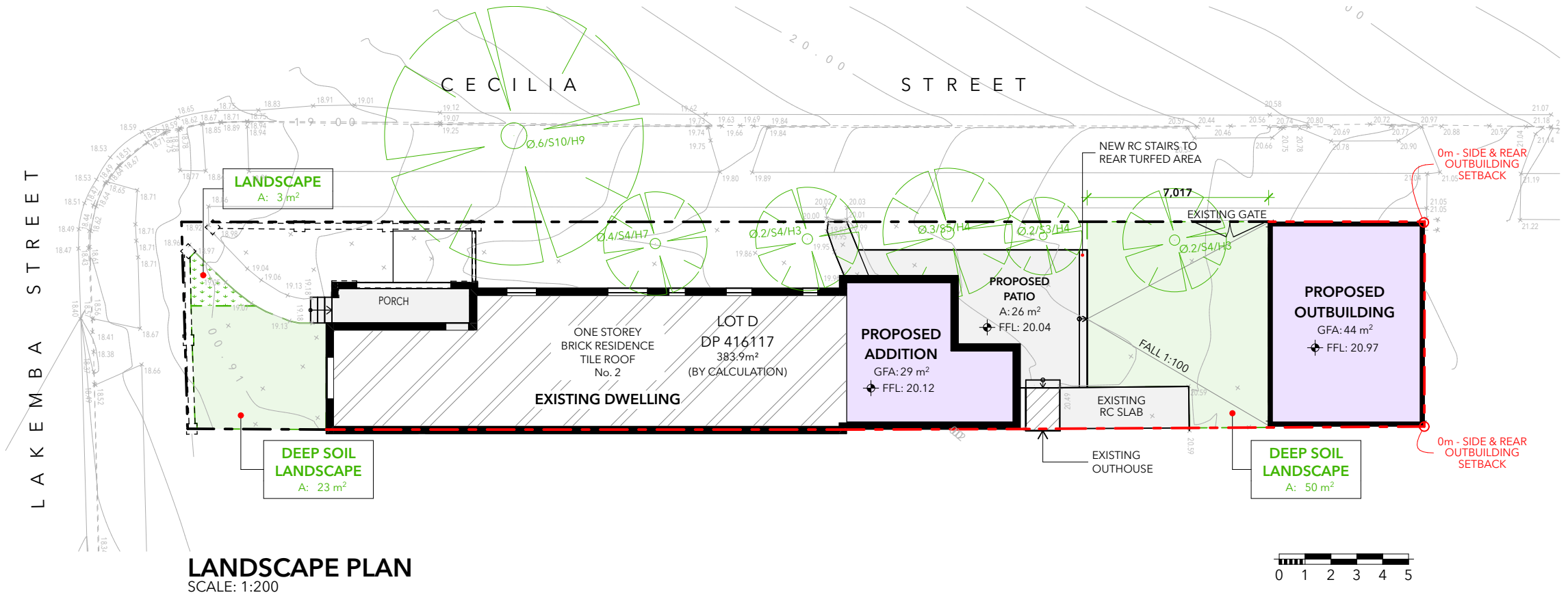
**TIMBER EDGE**  
MATERIAL: Timber edging shall consist of:  
Edging: 100 x 50mm hardwood  
Pegs: 50 x 50 x 400mm hardwood.  
Fastenings: to be 75 x 3.75mm diam. galvanised nails  
INSTALLATION: Setout alignment of timber edges on site for approval of Superintendent. Excavate to approved alignment and place edge band within trench to confirm peg locations. Install pegs and affix timber edge in accordance with details. All timber edging to finish flush with adjoining turf.

3. MAINTENANCE/ PLANT ESTABLISHMENT

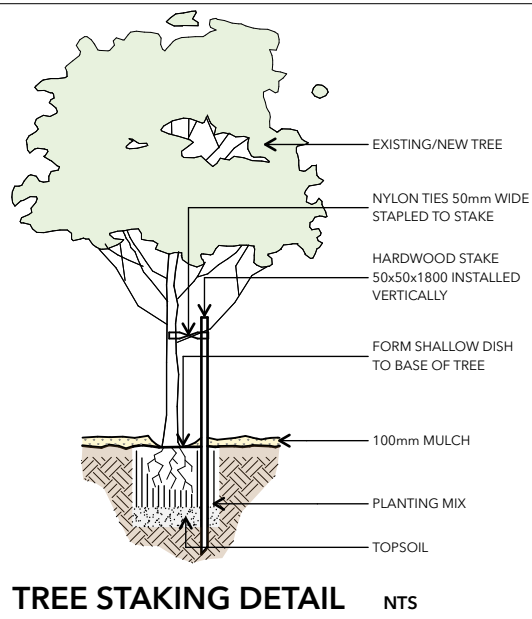
Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 26 weeks.  
Maintenance shall consist of the following works:  
- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.

COMPLIANCE TABLE CBDP 2023 & CBLEP 2023

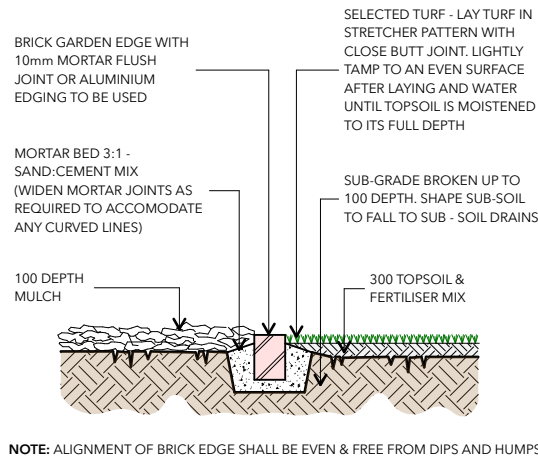
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- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, turf ed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grass ed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Fertilise lawn areas to maintain healthy growth.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- Mow lawn to maintain neat healthy growth.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

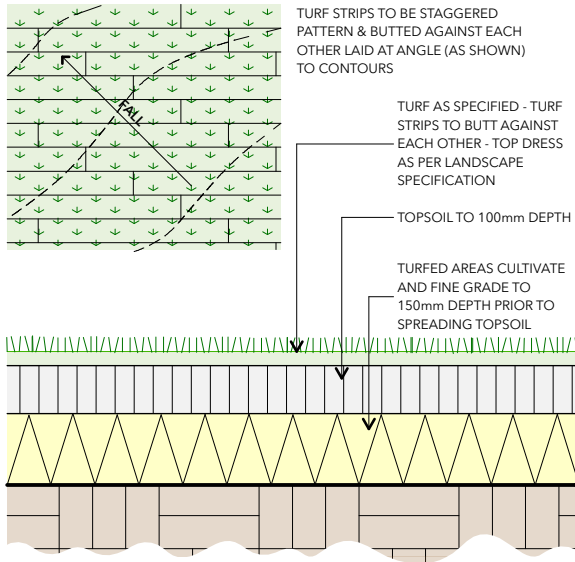


TREE STAKING DETAIL NTS



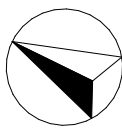
NOTE: ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM DIPS AND HUMPS

TURF & GARDEN EDGE DETAIL NTS



TURFING DETAIL NTS

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DRAWING NAME  
LANDSCAPE PLAN

PROJECT DESCRIPTION  
PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

CLIENT & SITE ADDRESS  
MR EMANUEL KARAGEORGIOU  
2 LAKEMBA STREET, BELMORE 2192 - LOT D / DP 416117

COUNCIL  
CITY OF CANTERBURY BANKSTOWN

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JOB No. 1329  
REV No. C  
DWG No. A004

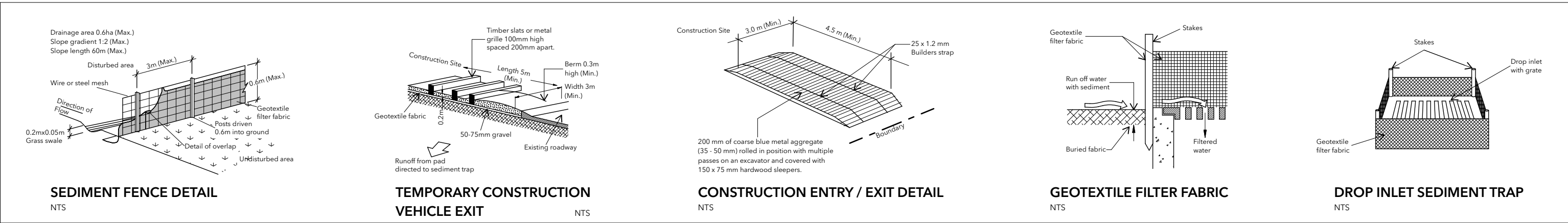
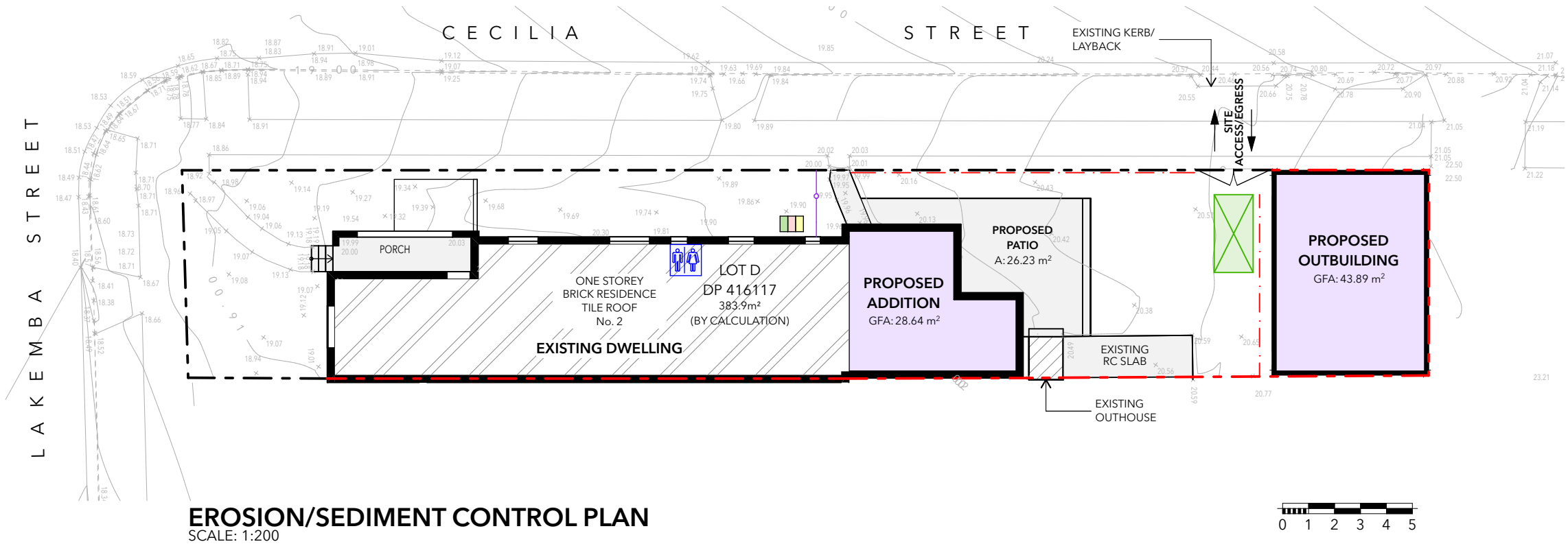


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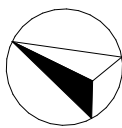
1. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL SHOULD OCCUR ON THE VEGETATED BUFFER.
2. ALL SEDIMENT CONTROL STRUCTURES SHOULD BE INSPECTED & MAINTAINED BY THE SITE MANAGER DAILY.
3. ALL RESTING STRUCTURES SHOULD BE CLEANED ON REACHING 50% OF STORAGE CAPACITY. SEDIMENT REMOVED SHOULD BE SPREAD WITHIN THE DISTURBED AREA.
4. ALL EXISTING VEGETATION ON THE SITE PERIMETER MUST BE RETAINED.
5. ROOF GUTTERS AND DOWNPIPES MUST BE CONNECTED TO THE SITE DRAINAGE IMMEDIATELY AFTER ROOF CONSTRUCTION.
6. ALL DISTURBED AREAS ARE TO BE REVEGETATED OR STABILISED TO PREVENT EROSION I.E. LANDSCAPING/MULCHING TURFING.
7. MATERIALS ARE NOT TO BE STORED ON THE FOOTPATH.

LEGEND

- SKIP BIN
- SEDIMENT FENCE. FILTER FABRIC OVER WIRE MESH (600 HIGH). EMBED LOWER END OF FABRIC 200mm INTO GROUND. FIX TO POSTS 900-1200mm LONG, SPACED 2 TO 3m APART.
- MATERIAL STORAGE AREA
- GRAVEL SAUSAGE. GRAVEL WRAPPED IN GEOFABRIC REINFORCED WITH WIRE MESH.
- TEMPORARY SANITARY FACILITIES TO COUNCIL'S REQUIREMENTS.
- TOOL/GANG BOX FOR EQUIPMENT STORAGE
- TEMPORARY SAFETY FENCE 1.8m HIGH. APPROVED DUST CONTROL FABRIC ATTACHED TO THE INSIDE FACE.
- RUMBLE GRID
- AG LINE
- COMPACTED AGGREGATE
- ORGANICS, GARBAGE & RECYCLING



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DRAWING NAME

EROSION/SEDIMENT CONTROL PLAN

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CLIENT & SITE ADDRESS

MR EMANUEL KARAGEORGIOU  
2 LAKEMBA STREET, BELMORE 2192 -  
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COUNCIL

CITY OF CANTERBURY BANKSTOWN

SCALE A3

1:200

DRAWN

PA

DATE

29/04/25

JOB No.

**1329**

REV No.

C

DWG No.

**ESCP**



- PLANS TO BE INSPECTED AND CERTIFIED BY A QUALIFIED ENGINEER.
- STORMWATER DESIGN PLAN IS CONCEPT ONLY AND MUST COMPLY WITH AS 3500.3:2015 PLUMBING & DRAINAGE - STORMWATER DRAINAGE & RELEVANT DCP.
- IF A NEW STORMWATER LINE IS CONNECTED TO AN EXISTING STORMWATER LINE A PLUMBER IS TO CHECK & CONFIRM ADEQUACY OF EXISTING LINE TO SUPPORT ADDITIONAL STORMWATER.



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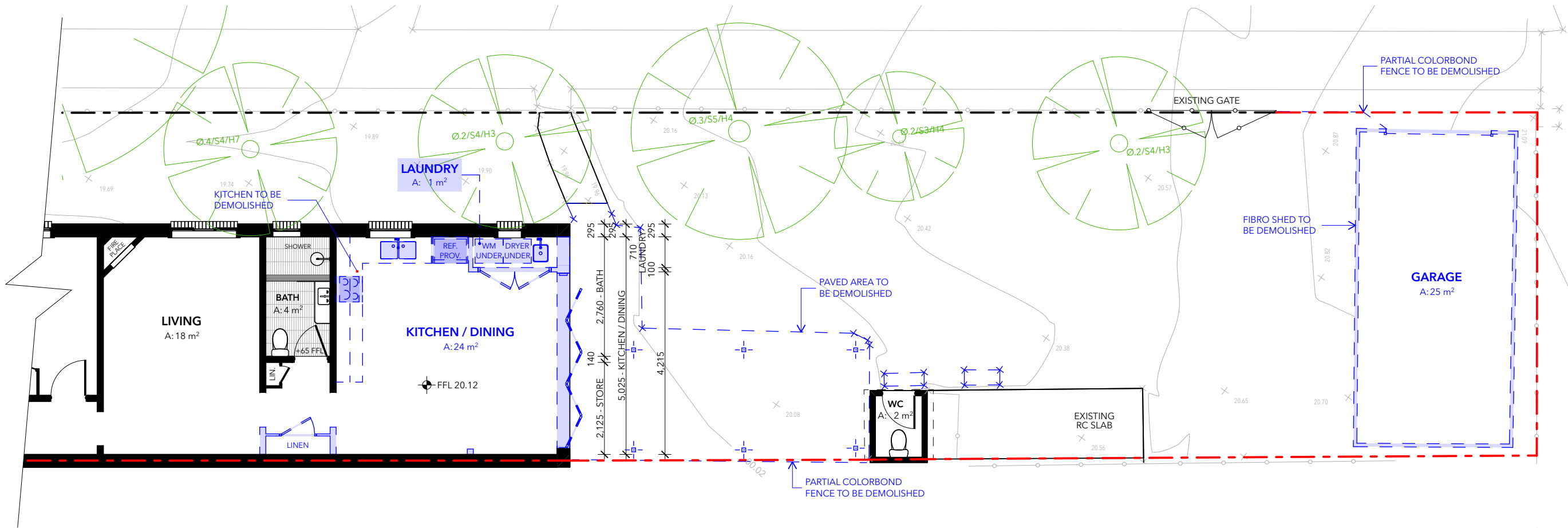


<u>CLIENT &amp; SITE ADDRESS</u>	<u>SCALE A3</u>	1:200
MR EMANUEL KARAGEORGIOU	<u>DRAWN</u>	PA
2 LAKEMBA STREET, BELMORE 2192 -	<u>DATE</u>	29/04/2018
LOT D / DP 416117	<u>JOB No.</u>	<b>132</b>
<u>COUNCIL</u>	<u>REV No.</u>	C
CITY OF CANTERBURY BANKSTOWN	<u>DWG No.</u>	<b>SWP</b>



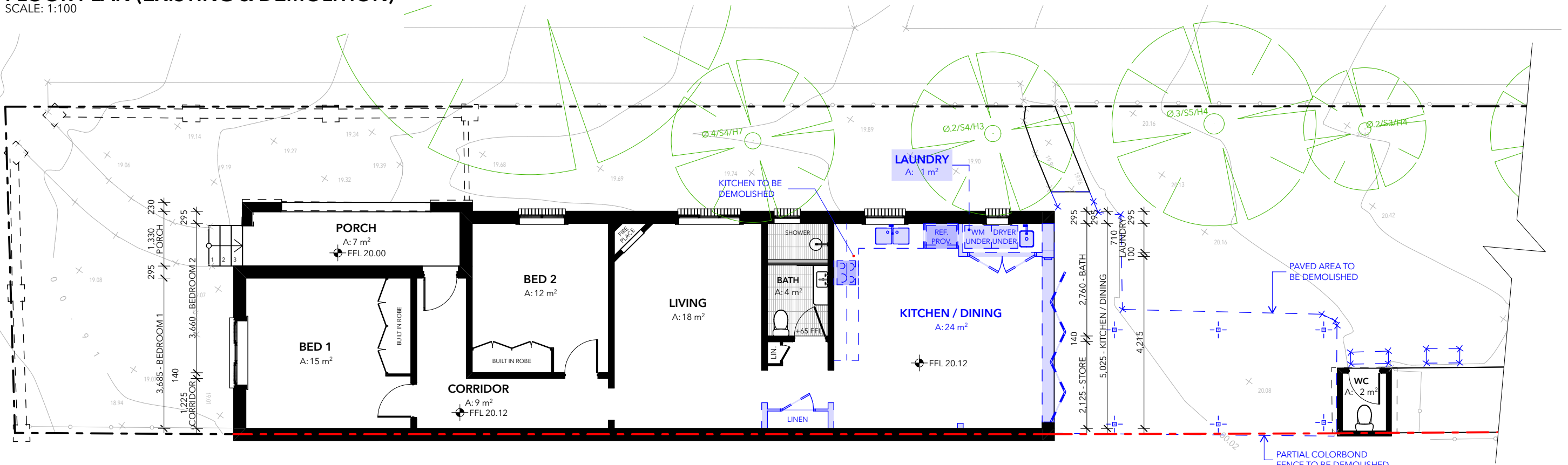
**LEGEND**

- EXISTING
- TO BE DEMOLISHED
- NEW TIMBER FLOOR/WALL
- NEW CONCRETE FLOOR/WALL
- NEW BRICK WALL
- NEW METAL ROOF
- NEW WET AREAS
- NEW FF & E



**2 FLOOR PLAN (EXISTING & DEMOLITION)**

SCALE: 1:100

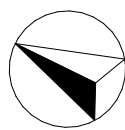


**1 FLOOR PLAN (EXISTING & DEMOLITION)**

SCALE: 1:100



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SCALE A3 1:100

DRAWN PA

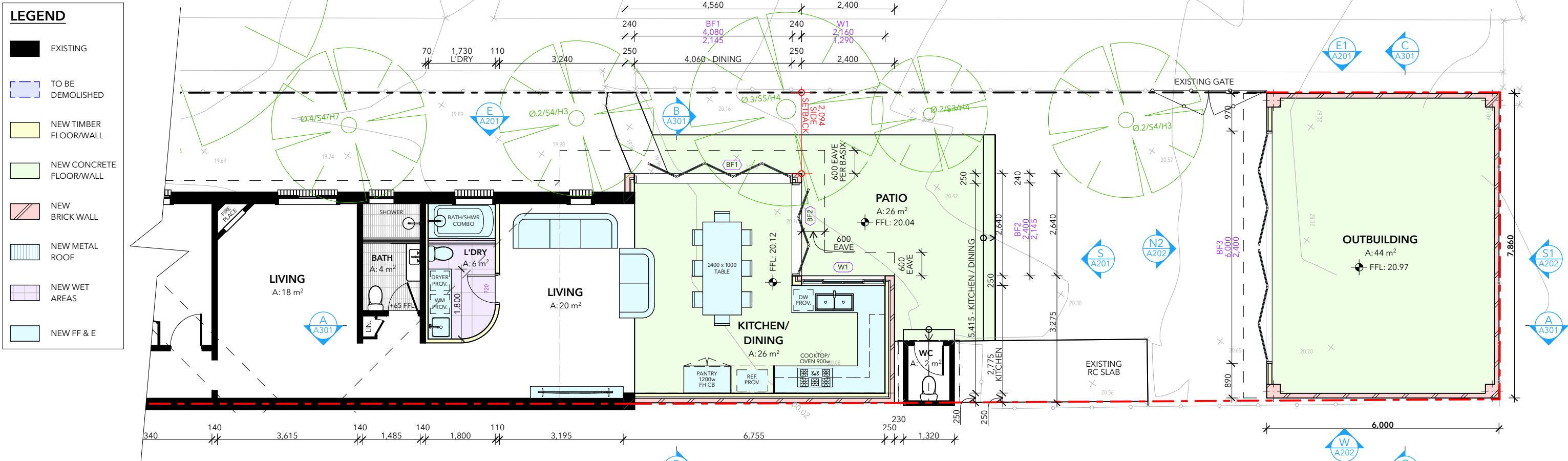
DATE 29/04/25

JOB No. 1329

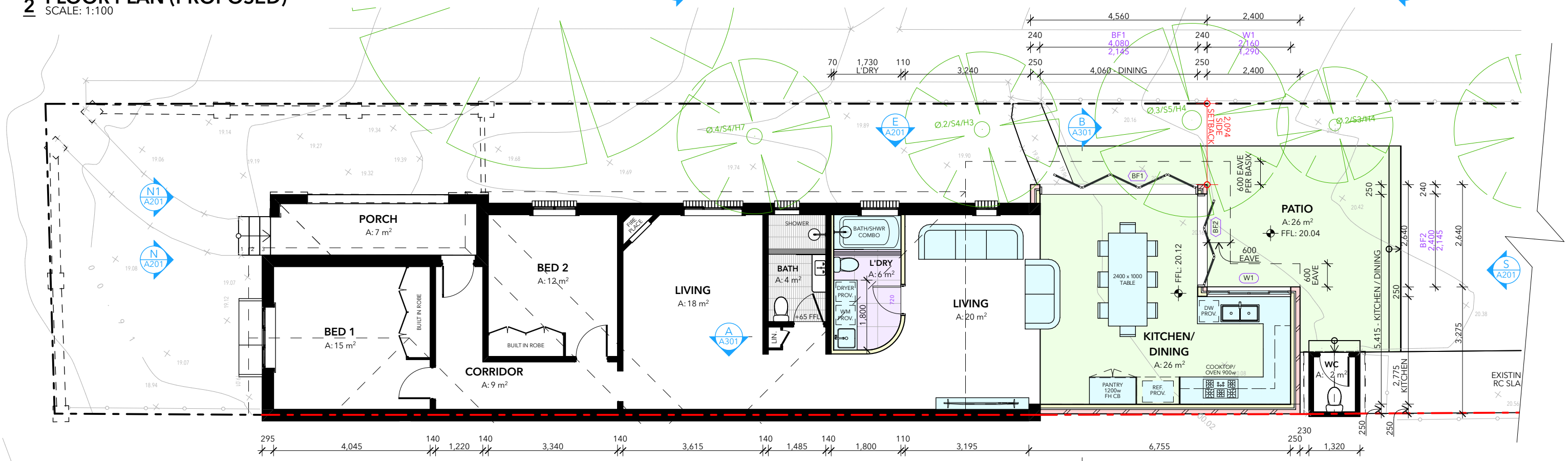
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DWG No. A101



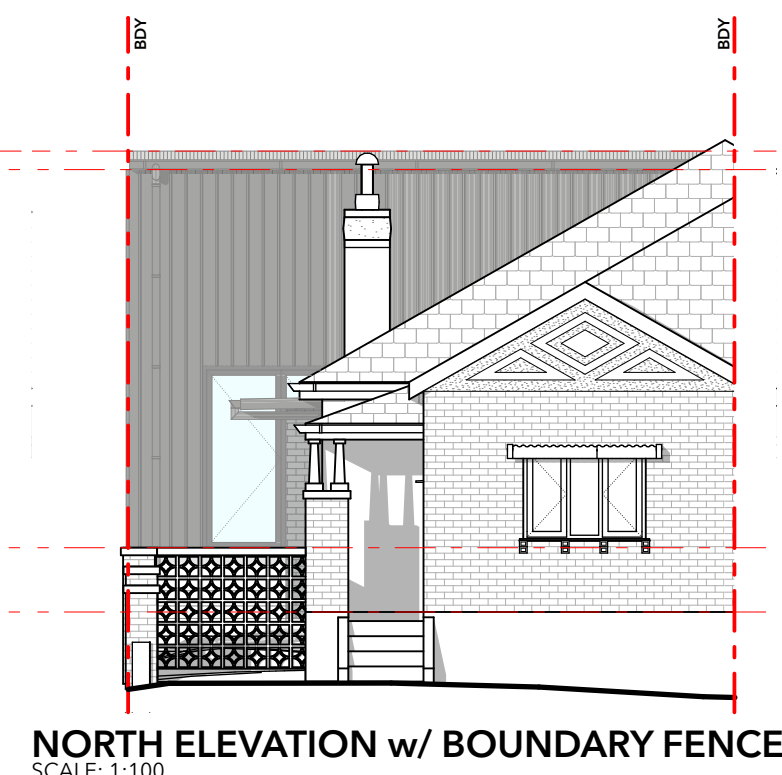
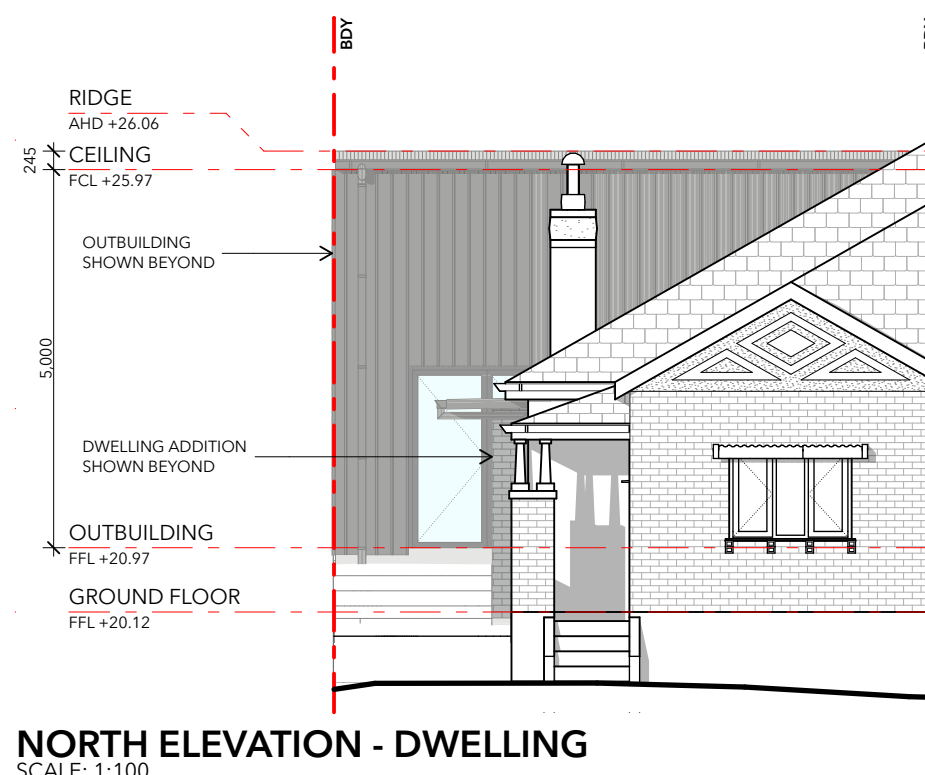
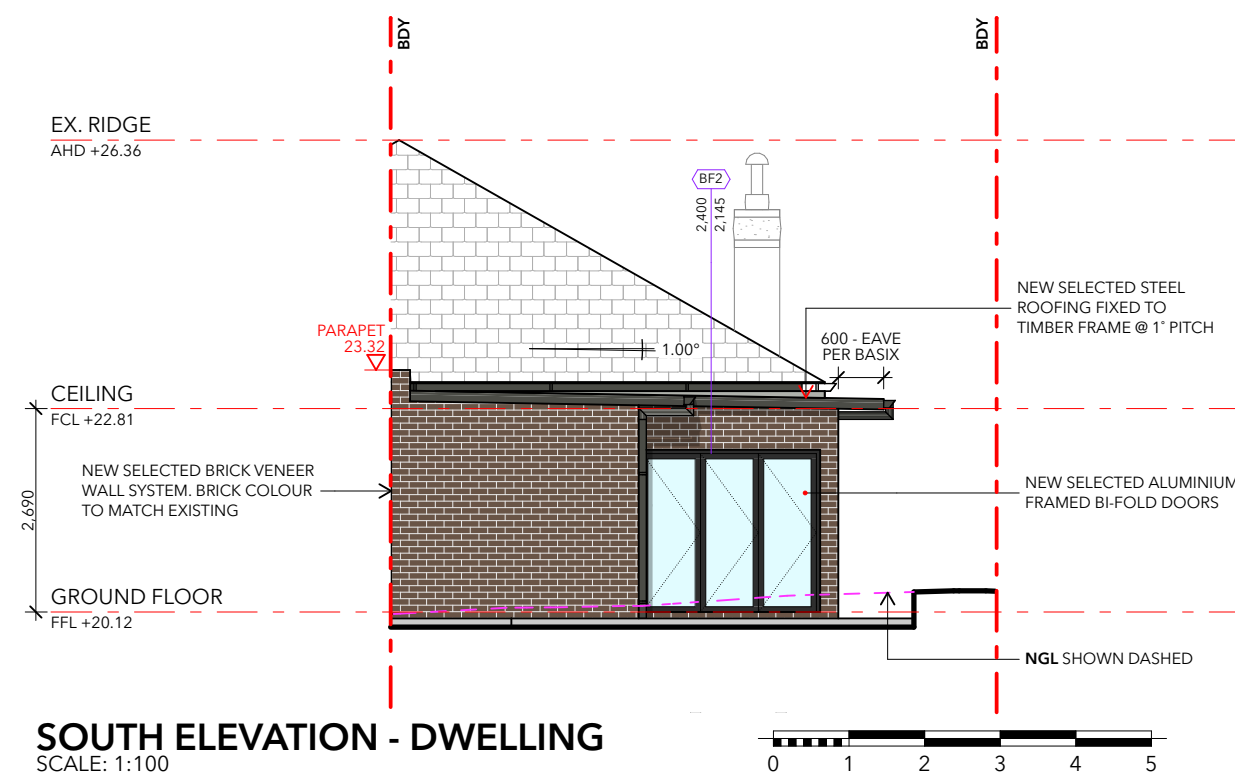


**2 FLOOR PLAN (PROPOSED)**  
SCALE: 1:100



**1 FLOOR PLAN (PROPOSED)**  
SCALE: 1:100





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<b>REV</b>	<b>ISSUANCE</b>	<b>DATE</b>



DRAWING NAME

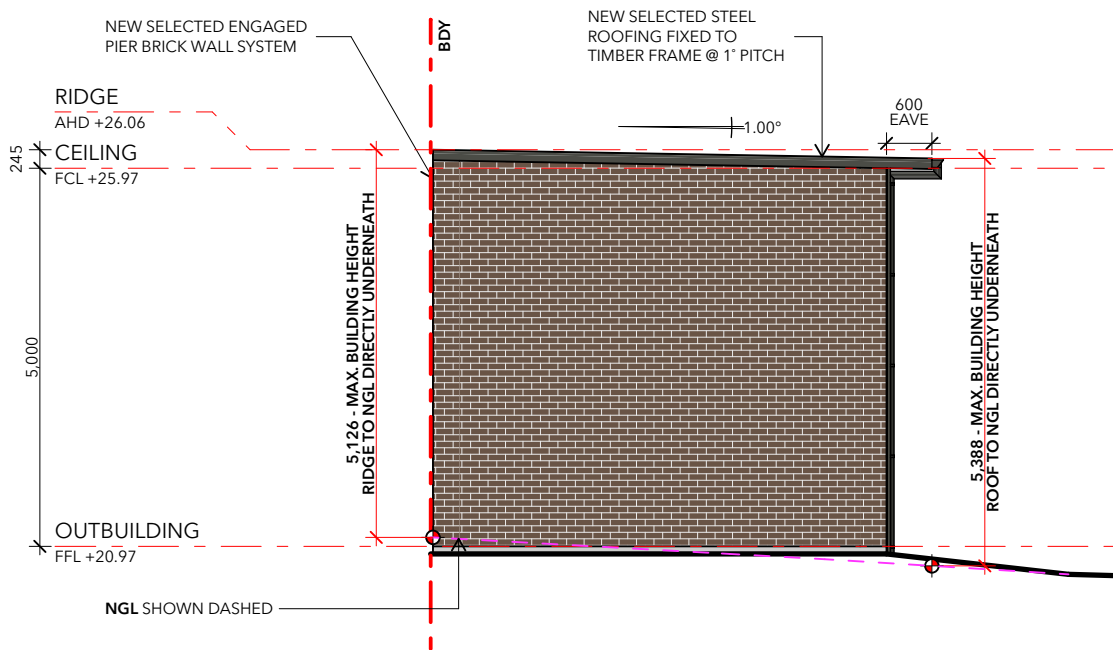
DWELLING ELEVATIONS

PROJECT DESCRIPTION

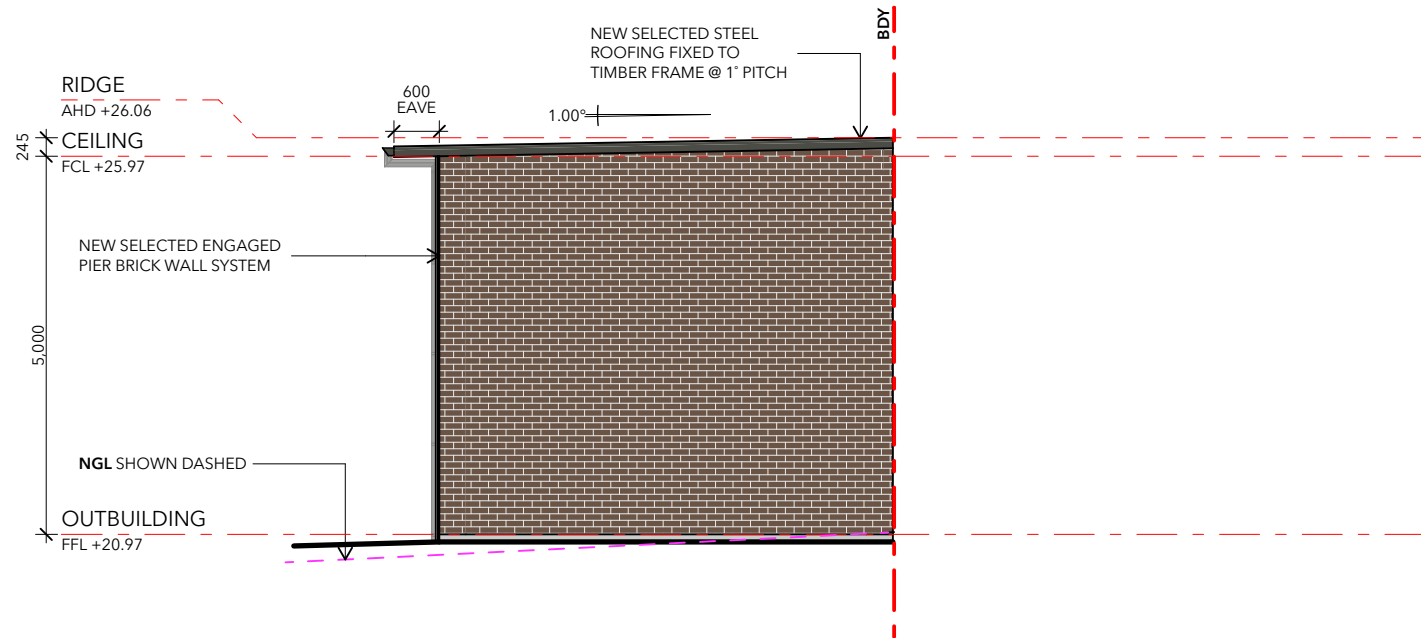
PROPOSED ALTERATIONS &  
ADDITIONS & GARAGE RENOVATION

<u>SCALE A3</u>	1:100
<u>DRAWN</u>	PA
<u>DATE</u>	29/04/25
<u>JOB No.</u>	<b>1329</b>
<u>REV No.</u>	C
<u>DWG No.</u>	<b>A201</b>

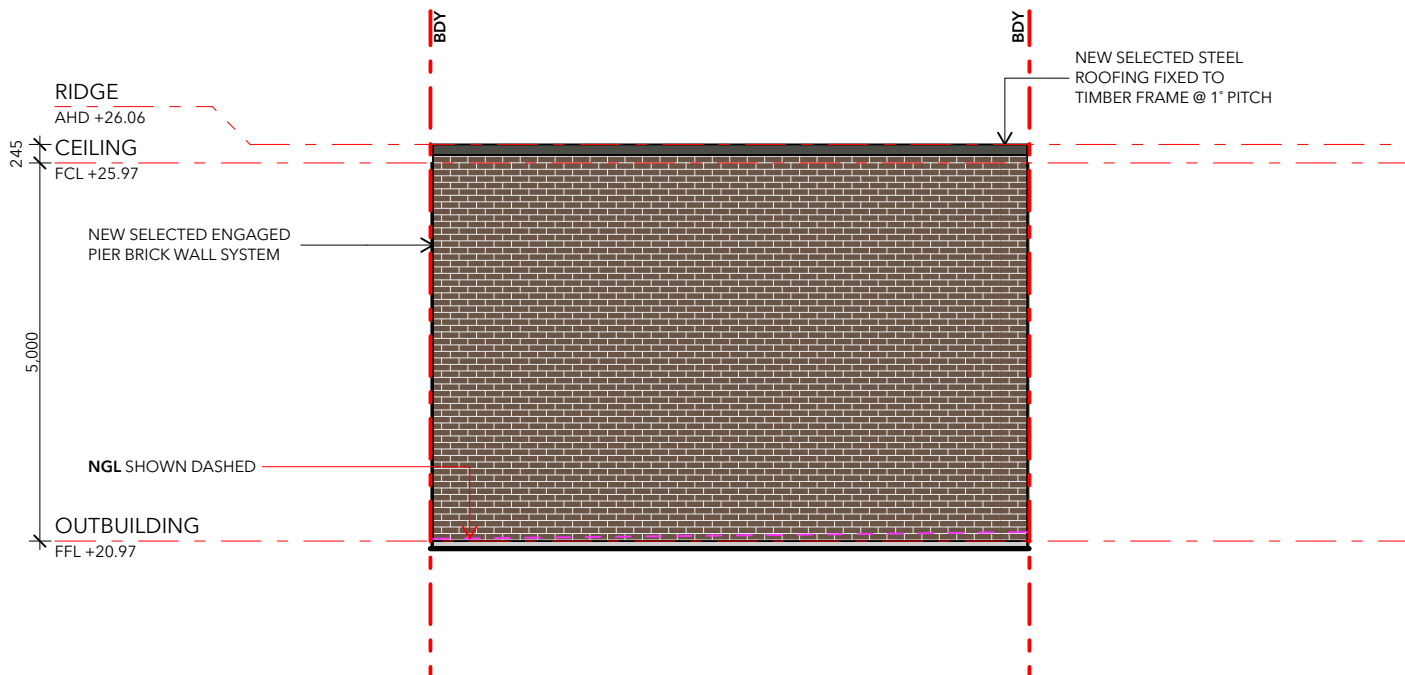




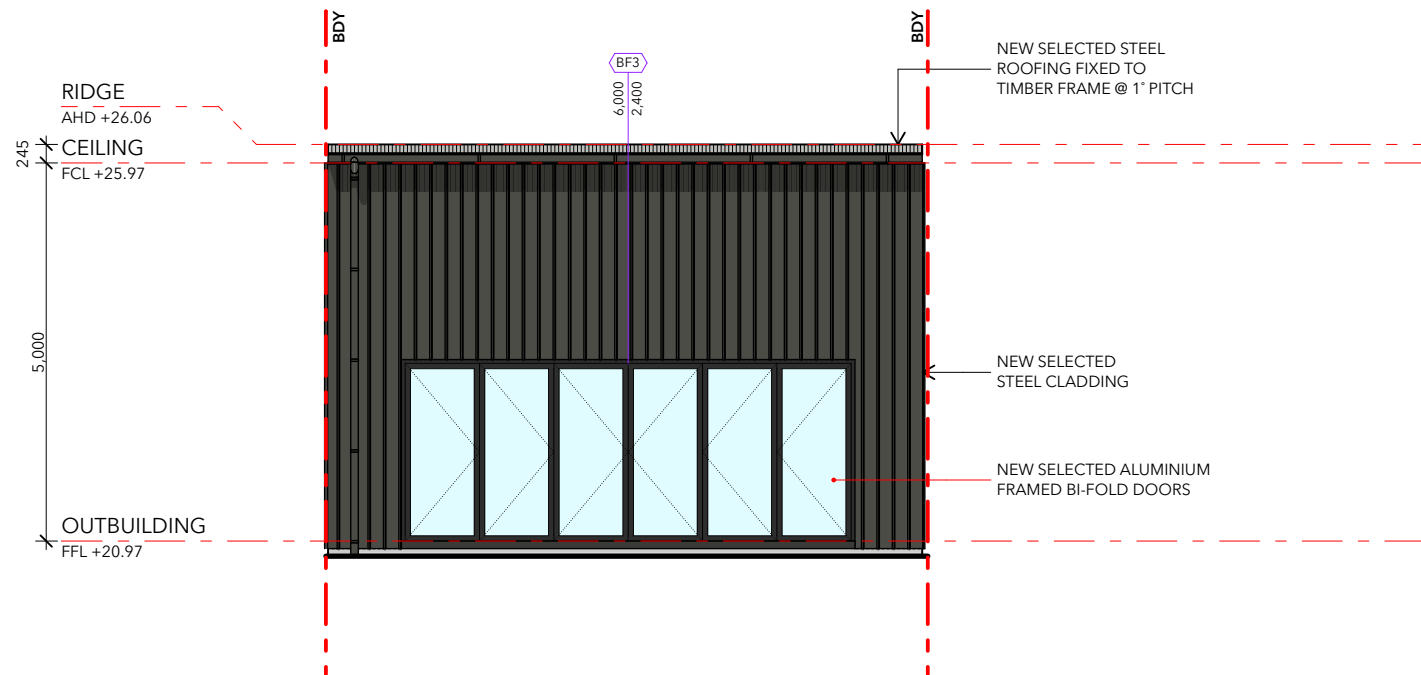
EAST ELEVATION - OUTBUILDING  
SCALE: 1:100



WEST ELEVATION - OUTBUILDING  
SCALE: 1:100



SOUTH ELEVATION - OUTBUILDING  
SCALE: 1:100



NORTH ELEVATION - OUTBUILDING  
SCALE: 1:100



C	DA SUBMISSION RE-ISSUE	29/04/25
REV	ISSUANCE	DATE

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DRAWING NAME  
OUTBUILDING ELEVATIONS

PROJECT DESCRIPTION  
PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

CLIENT & SITE ADDRESS  
MR EMANUEL KARAGEORGIOU  
2 LAKEMBA STREET, BELMORE 2192 - LOT D / DP 416117

COUNCIL  
CITY OF CANTERBURY BANKSTOWN

SCALE A3 | 1:100

DRAWN | PA

DATE | 29/04/25

JOB No. | 1329

REV No. | C

DWG No. | A202



LEGEND

EXISTING

TO BE DEMOLISHED

NEW TIMBER FLOOR/WALL

NEW CONCRETE FLOOR/WALL

NEW BRICK WALL

NEW METAL ROOF

NEW WET AREAS

NEW FF & E

Section A is an elevation drawing of the outbuilding. It shows a structure with a new selected steel roofing fixed to a timber frame at a 1° pitch. The roof has a 600 eave. The walls are made of new selected engaged pier brick wall system. The floor is new RC slab & footings to eng. spec. The ceiling is new selected lightweight timber frame wall system with steel cladding. The outbuilding has a total area of 44 m². The drawing includes a boundary line (BDY) and a regrade where required. The existing garage level is shown dashed in pink. The ground floor level is FFL +20.97. The ceiling level is FCL +25.97. The ridge level is AHD +26.06. The drawing also shows a structural beam to eng. spec. and a new RC slab & footings to eng. spec. The outbuilding is shown with a new selected engaged pier brick wall system. The drawing includes a boundary line (BDY) and a regrade where required. The existing garage level is shown dashed in pink. The ground floor level is FFL +20.97. The ceiling level is FCL +25.97. The ridge level is AHD +26.06.

SECTION A  
SCALE: 1:100

Section A is an elevation drawing of the main building. It shows a structure with a new selected steel roofing fixed to a timber frame at a 1° pitch. The roof has a 600 eave. The walls are made of new selected brick veneer boundary wall system to comply with NCC. The floor is new RC slab to eng. spec. The ceiling is new selected lightweight timber frame wall system with steel cladding. The main building has a total area of 26 m². The drawing includes a boundary line (BDY) and a regrade where required. The existing patio level is shown dashed. The ground floor level is FFL +20.12. The ceiling level is FCL +22.81. The ridge level is AHD +26.36. The drawing also shows a structural beam to eng. spec. and a new RC slab & footings to eng. spec. The main building is shown with a new selected engaged pier brick wall system. The drawing includes a boundary line (BDY) and a regrade where required. The existing patio level is shown dashed. The ground floor level is FFL +20.12. The ceiling level is FCL +22.81. The ridge level is AHD +26.36.

SECTION A  
SCALE: 1:100

Section B is an elevation drawing of the main building. It shows a structure with a new selected steel roofing fixed to a timber frame at a 1° pitch. The roof has a 600 eave per basix. The walls are made of new selected brick veneer wall system. The floor is new RC slab to patio. The ceiling is new selected engaged pier brick wall system. The main building has a total area of 26 m². The drawing includes a boundary line (BDY) and a regrade where required. The existing patio level is shown dashed. The ground floor level is FFL +20.12. The ceiling level is FCL +22.81. The ridge level is AHD +23.32. The drawing also shows a structural beam to eng. spec. and a new RC slab & footings to eng. spec. The main building is shown with a new selected engaged pier brick wall system. The drawing includes a boundary line (BDY) and a regrade where required. The existing patio level is shown dashed. The ground floor level is FFL +20.12. The ceiling level is FCL +22.81. The ridge level is AHD +23.32.

SECTION B  
SCALE: 1:100

Section C is an elevation drawing of the outbuilding. It shows a structure with a new selected steel roofing fixed to a timber frame at a 1° pitch. The roof has a 600 eave. The walls are made of new selected engaged pier brick wall system. The floor is new RC slab & footings to eng. spec. The ceiling is new selected lightweight timber frame wall system with steel cladding. The outbuilding has a total area of 44 m². The drawing includes a boundary line (BDY) and a regrade where required. The existing garage level is shown dashed in pink. The ground floor level is FFL +20.97. The ceiling level is FCL +25.97. The ridge level is AHD +26.06. The drawing also shows a structural beam to eng. spec. and a new RC slab & footings to eng. spec. The outbuilding is shown with a new selected engaged pier brick wall system. The drawing includes a boundary line (BDY) and a regrade where required. The existing garage level is shown dashed in pink. The ground floor level is FFL +20.97. The ceiling level is FCL +25.97. The ridge level is AHD +26.06.

SECTION C  
SCALE: 1:100

REV	ISSUANCE	DATE
C	DA SUBMISSION RE-ISSUE	29/04/25
B	DA SUBMISSION ISSUE	07/02/25
A	CLIENT REVIEW ISSUE	19/11/24

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DRAWING NAME  
SECTIONS

PROJECT DESCRIPTION  
PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

CLIENT & SITE ADDRESS  
MR EMANUEL KARAGEORGIU  
2 LAKEMBA STREET, BELMORE 2192 - LOT D / DP 416117  
COUNCIL  
CITY OF CANTERBURY BANKSTOWN



SCALE A3  
1:100  
DRAWN  
PA  
DATE  
29/04/25  
JOB No.  
1329  
REV No.  
C  
DWG No.  
A301

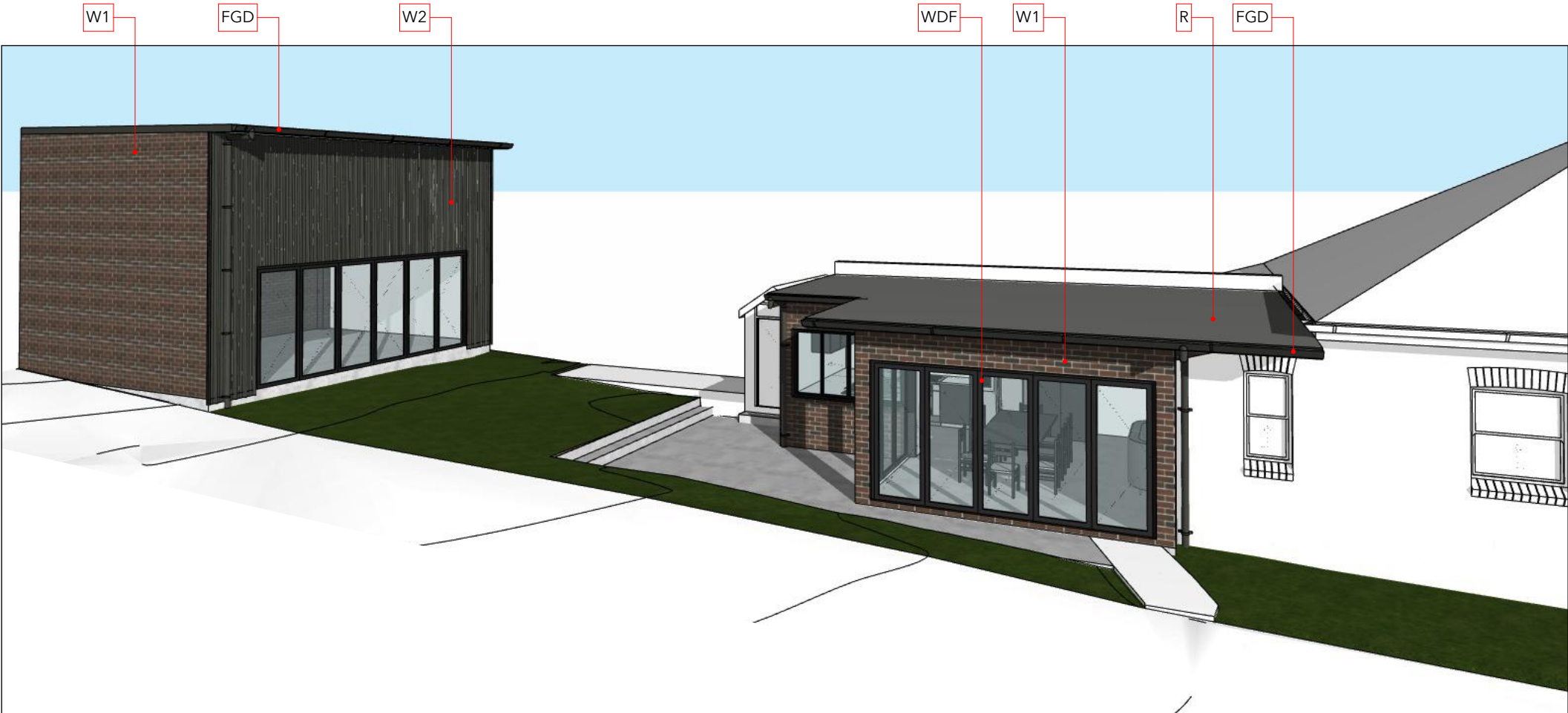


INTERNAL FINISHES & COLOURS TO BE SELECTED BY CLIENT

MATERIALS & FINISHES SCHEDULE

CODE / ITEM	COLOUR	SAMPLE
W1 EXTERNAL WALLS	FACE BRICK TO MATCH EXISTING	
W2 EXTERNAL WALLS	WOODLAND GREY	
WDF WINDOW/DOOR FRAMES	MATT BLACK	

CODE / ITEM	COLOUR	SAMPLE
R ROOF	TO MATCH EXISTING OR SHALE GREY	
FGD FASCIAS, GUTTERING & DOWNPIPES	WOODLAND GREY	



3D PERSPECTIVE (EXISTING ELEMENTS SHOWN WHITE)  
SCALE: 1:200

C	DA SUBMISSION RE-ISSUE	29/04/25
B	DA SUBMISSION ISSUE	07/02/25
A	CLIENT REVIEW ISSUE	19/11/24
REV	ISSUANCE	DATE

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**NEXT LEVEL**  
Design Studio

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DRAWING NAME  
SCHEDULE OF COLOUR & FINISHES

PROJECT DESCRIPTION  
PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

CLIENT & SITE ADDRESS  
MR EMANUEL KARAGEORGIU  
2 LAKEMBA STREET, BELMORE 2192 - LOT D / DP 416117

COUNCIL  
CITY OF CANTERBURY BANKSTOWN

SCALE A3 | 1:200

DRAWN | PA

DATE | 29/04/25

JOB No. | **1329**

REV No. | C

DWG No. | **A401**



page 1/6

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A1782610

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Friday, 07 February 2025

To be valid, this certificate must be lodged within 3 months of the date of issue.

Project address	
Project name	2 Lakemba Street, BELMORE
Street address	2 LAKEMBA Street BELMORE 2192
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP416117
Lot number	D
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: NEXT LEVEL BUILDING DESIGNS PTY LTD	
ABN (if applicable): 61638952815	

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓	
Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor.	nil	N/A		
external wall: brick veneer	R1.16 (or R1.70 including construction)			
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorbance < 0.475)		
Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors				
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.			✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	E	2.8	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
BF1	E	8.8	0	0	eave/ verandah/ pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
BF2	S	5.1	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

C	DA SUBMISSION RE-ISSUE	29/04/25
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<b>REV</b>	<b>ISSUANCE</b>	<b>DATE</b>

DWG No. **A402**

PA

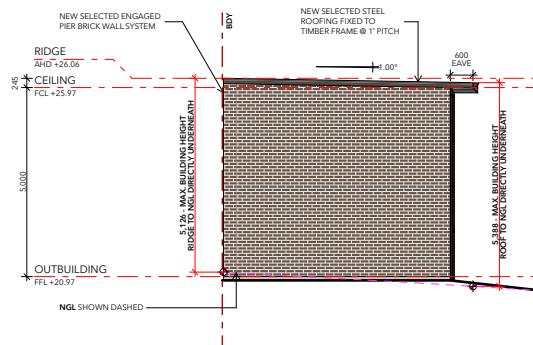
29/04/25

1329

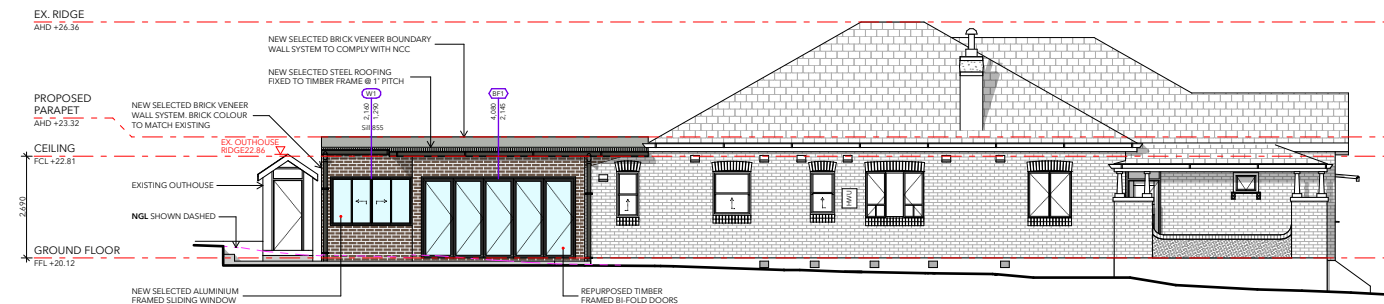
C

## A402

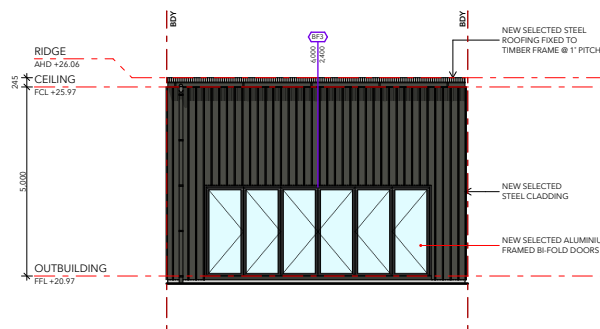




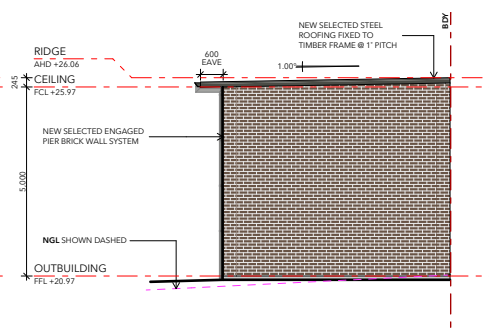
**EAST ELEVATION - OUTBUILDING**  
SCALE: 1:200



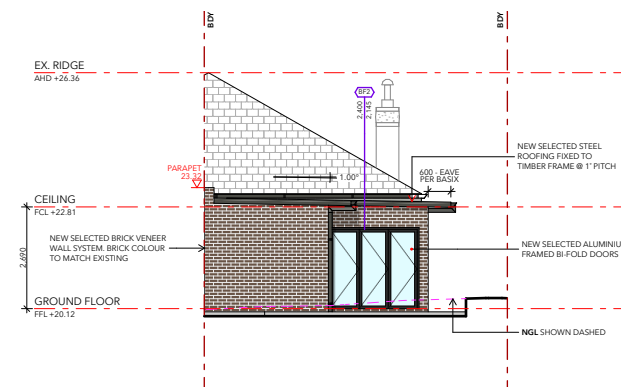
**EAST ELEVATION - DWELLING**  
SCALE: 1:200



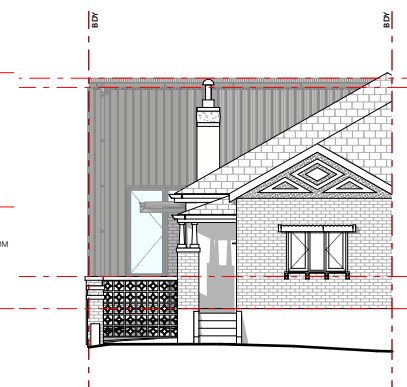
**NORTH ELEVATION - OUTBUILDING**  
SCALE: 1:200



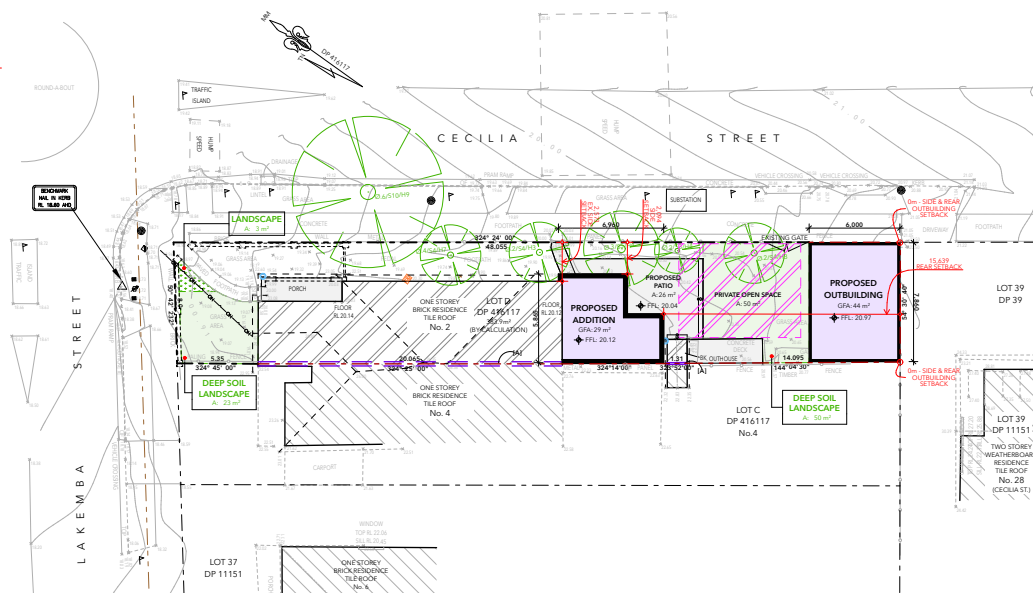
**WEST ELEVATION - OUTBUILDING**  
SCALE: 1:200



**SOUTH ELEVATION - DWELLING**  
SCALE: 1:200



**NORTH ELEVATION**  
SCALE: 1:200



**SITE PLAN**  
SCALE: 1:500



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#### DRAWING NAME

NEIGHBOUR NOTIFICATIONS

#### PROJECT DESCRIPTION

PROPOSED ALTERATIONS & ADDITIONS & GARAGE RENOVATION

#### CLIENT & ADDRESS

MR EMANUEL KARAGEORGIU  
2 LAKEMBA STREET, BELMORE 2192 -  
LOT D / DP 416117

#### COUNCIL

CITY OF CANTERBURY BANKSTOWN

#### SCALE A4

AS SHOWN PA

DRAWN 29/04/25

DATE 1329

JOB No. C

REV No.

DWG No. **NN01**